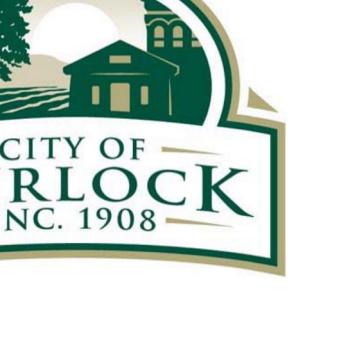


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<h1>744 SF ONE BEDROOM ACCESSORY DWELLING UNIT</h1> <p>FOR USE ONLY IN STANISLAUS COUNTY AND WITHIN THE JURISDICTIONS NOTED BELOW:</p> <div style="display: flex; justify-content: space-around; align-items: center;">       </div>																																																																																																																																																																																																																																																																																																																																																																																																																																																														
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INCH</td></tr> <tr> <td>CONST</td><td>CONSTRUCTION</td><td>PSF</td><td>POUNDS PER SQ.FT.</td></tr> <tr> <td>CONT</td><td>CONTINUOUS</td><td>PREFAB</td><td>PREFABRICATED</td></tr> <tr> <td>CTSK</td><td>COUNTER SINK</td><td>P.T.</td><td>PRESSURE TREATED</td></tr> <tr> <td>DP</td><td>DEEP</td><td>PTDF</td><td>PRESSURE TREATED DOUG. 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WATER COOLER</td><td>SHTG</td><td>SHEATHING</td></tr> <tr> <td>ELEC</td><td>ELECTRICAL</td><td>SHT</td><td>SHEET</td></tr> <tr> <td>EMER</td><td>EMERGENCY</td><td>SM</td><td>SHEET METAL</td></tr> <tr> <td>ENCL</td><td>ENCLOSURE</td><td>SIM</td><td>SIMILAR</td></tr> <tr> <td>EQ</td><td>EQUAL</td><td>SD</td><td>SOAP DISPENSER</td></tr> <tr> <td>EXH</td><td>EXHAUST</td><td>SC</td><td>SOLID CORE</td></tr> <tr> <td>EJ</td><td>EXPANSION JOINT</td><td>STC</td><td>SOUND TRANSMISSION COEFF.</td></tr> <tr> <td>EXP</td><td>EXPOSED/EXPANSION</td><td>S</td><td>SOUTH</td></tr> <tr> <td>EXT</td><td>EXTERIOR</td><td>SPEC</td><td>SPECIFICATION</td></tr> <tr> <td>FOC</td><td>FACE OF CONCRETE</td><td>SQ</td><td>SQUARE</td></tr> <tr> <td>FOF</td><td>FACE OF FINISH</td><td>SF</td><td>SQUARE FOOT</td></tr> <tr> <td>FOM</td><td>FACE OF MASONRY</td><td>SS</td><td>STAINLESS STEEL</td></tr> <tr> <td>FOS</td><td>FACE OF STUD/STRUCTURE</td><td>STD</td><td>STANDARD</td></tr> <tr> <td>FIN</td><td>FINISH</td><td>STL</td><td>STEEL</td></tr> <tr> <td>FF</td><td>FINISH FLOOR</td><td>STOR</td><td>STORAGE</td></tr> <tr> <td>FA</td><td>FIRE ALARM</td><td>STRUCT</td><td>STRUCTURE</td></tr> <tr> <td>FE</td><td>FIRE EXTINGUISHER</td><td>S4S</td><td>SURFACE FOUR SIDES</td></tr> <tr> <td>FEC</td><td>FIRE EXTINGUISHER CABINET</td><td>SUSP</td><td>SUSPENDED</td></tr> <tr> <td>FH</td><td>FIRE HYDRANT</td><td>SAT</td><td>SUSPENDED ACOUSTICAL TILE</td></tr> <tr> <td>FLASH</td><td>FLASHING</td><td>SYM</td><td>SYMMETRICAL</td></tr> <tr> <td>FLR</td><td>FLOOR</td><td>TB</td><td>TACKBOARD</td></tr> <tr> <td>FT</td><td>FOOT / FEET</td><td>TEL</td><td>TELEPHONE</td></tr> <tr> <td>FTG</td><td>FOOTING</td><td>TV</td><td>TELEVISION</td></tr> <tr> <td>FDN</td><td>FOUNDATION</td><td>THK</td><td>THICK</td></tr> <tr> <td>GA</td><td>GAGE / GAUGE</td><td>THRES</td><td>THRESHOLD</td></tr> <tr> <td>GI</td><td>GALVANIZED IRON</td><td>T&amp;G</td><td>TONGUE &amp; GROOVE</td></tr> <tr> <td>GL</td><td>GLASS / GLAZING</td><td>TOB</td><td>TOP OF BEAM</td></tr> <tr> <td>GALV</td><td>GLAVANIZED</td><td>TOC</td><td>TOP OF CURB/CONCRETE</td></tr> <tr> <td>GLB</td><td>GLUE LAMINATED BEAM</td><td>TOP</td><td>TOP OF</td></tr> <tr> <td>GB</td><td>GRAB BAR</td><td>PLATE/PARAPET/PAVEMENT</td><td></td></tr> <tr> <td>GND</td><td>GROUND</td><td>TOS</td><td>TOP OF SHEATHING STEEL/SLAB</td></tr> <tr> <td>GYP</td><td>GYPSUM</td><td>TOW</td><td>TOP OF WALK/WALL</td></tr> <tr> <td>GYPB</td><td>GYPSUM BOARD</td><td>T</td><td>TREAD</td></tr> <tr> <td>HDW</td><td>HARDWARE</td><td>TYP</td><td>Typical</td></tr> <tr> <td>HDR</td><td>HEADER</td><td>UNO</td><td>UNLESS NOTED OTHERWISE</td></tr> <tr> <td>HVAC</td><td>HEATING/VENTILATING/AIR CONDITION</td><td>UR</td><td>URINAL</td></tr> <tr> <td>HT</td><td>HEIGHT</td><td>VERT</td><td>VERTICAL</td></tr> <tr> <td>H</td><td>HIGH</td><td>VCT</td><td>VINYL COMPOSITION TILE</td></tr> <tr> <td>HC</td><td>HOLLOW CORE</td><td>WSTC</td><td>WAINTSCOT</td></tr> <tr> <td>HM</td><td>HOLLOW METAL</td><td>WC</td><td>WATER CLOSET</td></tr> <tr> <td>HSS</td><td>HOLLOW STRUCTURAL SECTION</td><td>WH</td><td>WATER HEATER</td></tr> <tr> <td>HORIZ</td><td>HORIZONTAL</td><td>WP</td><td>WATER PROOFING</td></tr> <tr> <td>HB</td><td>HOSE BIB</td><td>WR</td><td>WATER RESISTANCE</td></tr> <tr> <td>HR</td><td>HOUR</td><td>WT</td><td>WEIGHT</td></tr> <tr> <td>IN</td><td>INSIDE DIAMETER</td><td>WWF</td><td>WELDED WIRE FABRIC</td></tr> <tr> <td>ID</td><td>INSULATION</td><td>W</td><td>WEST/WIDTH/WIDE</td></tr> <tr> <td>INSUL</td><td>INTERIOR</td><td>WDW</td><td>WINDOW</td></tr> <tr> <td>INT</td><td>LABORATORY</td><td>W/</td><td>WITH</td></tr> <tr> <td>LAB</td><td>LAMINATE(D)</td><td>W/O</td><td>WITHOUT</td></tr> <tr> <td>LAM</td><td>LAVATORY</td><td>WD</td><td>WOOD</td></tr> <tr> <td>LAV</td><td>LAVATORY</td><td>WWM</td><td>WOVEN WIRE MESH</td></tr> <tr> <td>LT</td><td>LIGHT</td><td>WI</td><td>WROUGHT IRON</td></tr> </table>															ABV	ABOVE	LTWT	LIGHT WEIGHT	AFF	ABOVE FINISH FLOOR	L	LONG LENGTH	ACC	ACCESSIBLE	LV	LOUVER VENT	ACOUS	ACOUSTICAL	MB	MACHINE BOLT	ADJ	ADJUSTABLE	MH	MAN HOLE	A/C	AIR CONDITIONING	MANUFACTURER		ALT	ALTERNATE	MAS	MASONRY	ALUM	ALUMINUM	MAX	MAXIMUM	AB	ANCHOR BOLT	MECH	MECHANICAL	ANOD	ANODIZED	MIN	MINIMUM	ARCH	ARCHITECT(URAL)	METAL		AC	ASPHALT CONCRETE	MISC	MISCELLANEOUS	APL	ASSUMED PROPERTY LINE	MTD	MOUNDED	AUTO	AUTOMATIC	(N)	NEW	BM	BEAM	NRC	NOISE REDUCTION COEFF.	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EXP	EXPOSED/EXPANSION	S	SOUTH	EXT	EXTERIOR	SPEC	SPECIFICATION	FOC	FACE OF CONCRETE	SQ	SQUARE	FOF	FACE OF FINISH	SF	SQUARE FOOT	FOM	FACE OF MASONRY	SS	STAINLESS STEEL	FOS	FACE OF STUD/STRUCTURE	STD	STANDARD	FIN	FINISH	STL	STEEL	FF	FINISH FLOOR	STOR	STORAGE	FA	FIRE ALARM	STRUCT	STRUCTURE	FE	FIRE EXTINGUISHER	S4S	SURFACE FOUR SIDES	FEC	FIRE EXTINGUISHER CABINET	SUSP	SUSPENDED	FH	FIRE HYDRANT	SAT	SUSPENDED ACOUSTICAL TILE	FLASH	FLASHING	SYM	SYMMETRICAL	FLR	FLOOR	TB	TACKBOARD	FT	FOOT / FEET	TEL	TELEPHONE	FTG	FOOTING	TV	TELEVISION	FDN	FOUNDATION	THK	THICK	GA	GAGE / GAUGE	THRES	THRESHOLD	GI	GALVANIZED IRON	T&G	TONGUE & GROOVE	GL	GLASS / GLAZING	TOB	TOP OF BEAM	GALV	GLAVANIZED	TOC	TOP OF CURB/CONCRETE	GLB	GLUE LAMINATED BEAM	TOP	TOP OF	GB	GRAB BAR	PLATE/PARAPET/PAVEMENT		GND	GROUND	TOS	TOP OF SHEATHING STEEL/SLAB	GYP	GYPSUM	TOW	TOP OF WALK/WALL	GYPB	GYPSUM BOARD	T	TREAD	HDW	HARDWARE	TYP	Typical	HDR	HEADER	UNO	UNLESS NOTED OTHERWISE	HVAC	HEATING/VENTILATING/AIR CONDITION	UR	URINAL	HT	HEIGHT	VERT	VERTICAL	H	HIGH	VCT	VINYL COMPOSITION TILE	HC	HOLLOW CORE	WSTC	WAINTSCOT	HM	HOLLOW METAL	WC	WATER CLOSET	HSS	HOLLOW STRUCTURAL SECTION	WH	WATER HEATER	HORIZ	HORIZONTAL	WP	WATER PROOFING	HB	HOSE BIB	WR	WATER RESISTANCE	HR	HOUR	WT	WEIGHT	IN	INSIDE DIAMETER	WWF	WELDED WIRE FABRIC	ID	INSULATION	W	WEST/WIDTH/WIDE	INSUL	INTERIOR	WDW	WINDOW	INT	LABORATORY	W/	WITH	LAB	LAMINATE(D)	W/O	WITHOUT	LAM	LAVATORY	WD	WOOD	LAV	LAVATORY	WWM	WOVEN WIRE MESH	LT	LIGHT	WI	WROUGHT IRON
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  || | <b>ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND STANDARDS</b><br><b>APPLICABLE CODES - EFFECTIVE JANUARY 1, 2017</b>  |  |             |               |                         |  |  |  |  |  |  |  |  |  |   |  |  |             |  |                         |   |  |   |  |  | |--|--|-------------|---------------|-------------------------|--|--|--|--|--|--|--|--|--|---|--|--|-------------|--|-------------------------|---|--|---|--|--| | <p>TITLE 19 CCR   PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS<br/>           TITLE 24 CCR   PART 1 - 2019 BUILDING STANDARDS ADMINISTRATIVE CODE<br/>           TITLE 24 CCR   PART 2 - 2019 CALIFORNIA BUILDING CODE, VOL. 1 &amp; 2 ( CBC )<br/>           (2018 IBC, AS AMENDED BY CA )<br/>           TITLE 24 CCR   PART 2.5 - 2019 CALIFORNIA RESIDENTIAL CODE<br/>           TITLE 24 CCR   PART 3 - 2019 CALIFORNIA ELECTRICAL
CODE ( CEC )<br/>           ( 2017 NEC, AS AMENDED BY CA )<br/>           TITLE 24 CCR   PART 4 - 2019 CALIFORNIA MECHANICAL CODE ( CM )<br/>           ( 2018 IAPMO UMC, AS AMENDED BY CA )<br/>           TITLE 24 CCR   PART 5 - 2019 CALIFORNIA PLUMBING CODE ( CPC )<br/>           ( 2018 IAPMO UPC, AS AMENDED BY CA )<br/>           TITLE 24 CCR   PART 6 - 2019 CALIFORNIA ENERGY CODE<br/>           TITLE 24 CCR   PART 9 - 2019 CALIFORNIA FIRE CODE ( CFC )<br/>           ( 2018 IFC, AS AMENDED BY CA )<br/>           TITLE 24 CCR   PART 11 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE<br/>           TITLE 24 CCR   PART 12 - 2019 REFERENCED STANDARDS</p>   |  |             |               |                         |  |  |  |  |  |  |  |  |  |   |  |  |             |  |                         |   |  |   |  |  | | <p><b>DEFERRED APPROVALS</b><br/>           THE FOLLOWING ITEMS ARE TO BE DEFERRED. THE OWNER OR CONTRACTOR SHALL SUBMIT THE REQUIRED DOCUMENTS TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION:</p> <p>1. FIRE SPRINKLER SYSTEM<br/>           A. FIRE SPRINKLER SYSTEM PLANS AND SPECIFICATIONS WILL BE SUBMITTED SEPARATELY TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. INSTALLATION WILL BE IN ACCORDANCE WITH NFPA 13, 2019 EDITION FOR RESIDENTIAL OCCUPANCY WITH CFC AMENDMENTS.<br/>           B. IN GENERAL, A FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR THE ADU WHEN THE EXISTING RESIDENCE ON THE PROPERTY IS PROVIDED WITH A FIRE SPRINKLER SYSTEM. CONFIRM REQUIREMENTS WITH THE AUTHORITY HAVING JURISDICTION.</p> <p>2. PHOTOVOLTAIC SYSTEM<br/>           A. PHOTOVOLTAIC SYSTEM PLANS AND SPECIFICATIONS WILL BE SUBMITTED SEPARATELY TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. PERMIT SHALL BE OBTAINED PRIOR TO FRAME INSPECTION AND SHALL PASS FINAL INSPECTION AT THE SAME TIME THAT THE ADU PASSES FINAL INSPECTION.</p>   |  |             |               |                         |  |  |  |  |  |  |  |  |  |   |  |  |             |  |                         |   |  |   |  |  | | <p><b>SHEETS - ARCHITECTURAL</b></p> <p>A.1 FLOOR PLANS / ROOF PLAN - 744 SF ONE BEDROOM<br/>           A.2 EXTERIOR ELEVATIONS - 744 SF ONE BEDROOM<br/>           A.3 EXTERIOR ELEVATIONS - 744 SF ONE BEDROOM<br/>           A.5 BUILDING AND WALL SECTIONS - 744 SF ONE BEDROOM<br/>           AD.2 DETAILS - 744 SF ONE BEDROOM<br/>           A.4 SCHEDULES - 744 SF ONE BEDROOM<br/>           AD.1 DETAILS - 744 SF ONE BEDROOM</p> <p><b>SHEETS - STRUCTURAL</b></p> <p>S.0.1 STRUCTURAL NOTES, ABBREVIATIONS, AND PROJECT RESTRICTIONS - 744 SF (1) BEDROOM<br/>           S.0.2 TYPICAL CONCRETE &amp; REINFORCEMENT DETAILS - 744 (1) BEDROOM<br/>           S.0.3 STRUCTURAL DETAILS - SHEARWALLS, DIAPHRAGMS &amp; OTHER TYP. FRAMING - 744 SF (1) BEDROOM<br/>           S.0.4 FASTENER SCHEDULE - 744 SF (1) BEDROOM<br/>           S.1.1 FOUNDATION PLANS - 744 SF (1)
BEDROOM<br/>           S.2.1 FRAMING PLANS - 744 SF (1) BEDROOM<br/>           S.3.1 FRAMING ELEVATIONS - 744 SF (1) BEDROOM<br/>           SD.1 STRUCTURAL DETAILS - SLAB OPTION - 744 SF (1) BEDROOM<br/>           SD.1A STRUCTURAL DETAILS - RAISED WOOD OPTION - 744 SF (1) BEDROOM<br/>           SD.2 2x12 ROOF FRAMING DETAILS - 744 SF (1) BEDROOM<br/>           SD.2A STRUCTURAL DETAILS - TRUSS ROOF - 744 SF (1) BEDROOM</p> <p><b>SHEETS - MECHANICAL</b></p> <p>M.0.0 MECHANICAL - LEGEND, NOTES &amp; SCHEDULES - 744 SF - ONE BED - GAS WATER AND SPACE HEATING<br/>           M.2.1 MECHANICAL - FLOOR PLAN - 744 SF - ONE BED - GAS WATER AND SPACE HEATING<br/>           M.5.1 MECHANICAL - DETAILS - 744 SF - ONE BED - GAS WATER AND SPACE HEATING<br/>           EN.1 TITLE 24 - CERTIFICATE OF COMPLIANCE - 744 SF - ONE BED - GAS WATER AND SPACE HEATING<br/>           M.0.0E MECHANICAL - LEGEND, NOTES &amp; SCHEDULES - 744 SF - ONE BED - ELECTRIC WATER AND SPACE HEATING<br/>           M.2.1E MECHANICAL - FLOOR PLAN - 744 SF - ONE BED - ELECTRIC WATER AND SPACE HEATING<br/>           M.5.1E MECHANICAL - DETAILS - 744 SF - ONE BED - ELECTRIC WATER AND SPACE HEATING<br/>           EN.1E TITLE 24 - CERTIFICATE OF COMPLIANCE - 744 SF - ONE BED - ELECTRIC WATER AND SPACE HEATING</p> <p><b>SHEETS - PLUMBING</b></p> <p>P.0.0 PLUMBING - LEGEND, NOTES &amp; SCHEDULES - 744 SF - ONE BED - GAS WATER AND SPACE HEATING<br/>           P.2.1 PLUMBING - FLOOR PLANS - 744 SF - ONE BED - GAS WATER AND SPACE HEATING<br/>           P.5.1 PLUMBING - DETAILS - 744 SF - ONE BED - GAS WATER AND SPACE HEATING<br/>           P.0.0E PLUMBING - LEGEND, NOTES &amp; SCHEDULES - 744 SF - ONE BED - ELECTRIC WATER AND SPACE HEATING<br/>           P.2.1E PLUMBING - FLOOR PLANS - 744 SF - ONE BED - ELECTRIC WATER AND SPACE HEATING<br/>           P.5.1E PLUMBING - DETAILS - 744 SF - ONE BED - ELECTRIC WATER AND SPACE HEATING</p> <p><b>SHEETS - ELECTRICAL</b></p> <p>E.0.1 GENERAL NOTES, LEGEND &amp; ABBREVIATIONS<br/>           E.1.1 744 SF ONE OR TWO BEDROOMS ELECTRICAL FLOOR PLANS<br/>           E.1.2 744 SF ONE OR TWO BEDROOMS ELECTRICAL ROOF PLAN</p> |  |             |               |                         |  |  |  |  |  |  |  |  |  |   |  |  |             |  |                         |   |  |   |  |  | | <p><b>PROPERTY OWNER RESPONSIBILITIES / INFORMATION</b></p> <p>PROPERTY OWNER RESPONSIBILITIES / INFORMATION:</p> <ol style="list-style-type: none"> <li>1) THESE PLANS HAVE BEEN DESIGNED AND REVIEWED BY THE AUTHORITY HAVING JURISDICTION (AHJ) FOR COMPLIANCE WITH APPLICABLE BUILDING CODES. HOWEVER, IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO PROVIDE AND SUBMIT THE REQUIRED PROPERTY SPECIFIC INFORMATION AND SITE PLAN BASED ON THEIR SPECIFIC SITE. THE SITE PLAN SHALL BE SUBMITTED BY THE OWNER TO THE AHJ FOR REVIEW AND APPROVAL AS A CONDITION OF UTILIZING THESE PLANS AND SHALL INCLUDE A SCALED SITE PLAN WHICH INDICATES THE FOLLOWING MINIMUMS:           <ul style="list-style-type: none"> <li>A. PROPERTY LINES (PROPERTY LINES SHALL BE IDENTIFIED AT FOUNDATION INSPECTION), YARDS, EASEMENTS, STREETS, EXISTING AND PROPOSED BUILDINGS AND SEPARATIONS FROM EXISTING STRUCTURES</li> <li>B. MINIMUM ALLOWABLE SETBACKS FROM THE PROPERTY LINES. FOR THE AHJ.</li> <li>C. IDENTIFY THE POINTS OF CONNECTION FOR WATER, SEWER, GAS, AND ELECTRIC.</li> <li>D. CONFIRM COMPLETE SITE PLAN REQUIREMENTS WITH THE APPROPRIATE AHJ.</li> </ul> </li> <li>2) THE PROPERTY OWNER WILL BE REQUIRED TO CONFIRM WITH THE AHJ THAT THE PARCEL IN QUESTION CAN ACCOMMODATE THE PROPOSED ADU AND ALSO CONFIRM IF THERE ARE ANY SPECIFIC REQUIREMENTS SUCH AS BEING LOCATED IN A WILDLAND URBAN INTERFACE AREA, ETC. CONSTRUCTION DETAILS FOR COMPLIANCE WITH WUI STANDARDS ARE PROVIDED IN THE PLAN SET IF REQUIRED. SEE SHEET AD.1</li> <li>3) THIS ADU HAS NOT BEEN DESIGNED TO COMPLY WITH ACCESSIBILITY STANDARDS AS PRESCRIBED BY THE CALIFORNIA BUILDING CODE. HOWEVER, RECOMMENDATIONS FOR INCREASING THE FUNCTIONALITY (ADAPTABILITY) OF THE ADU FOR USE BY PERSONS WITH LIMITED MOBILITIES ARE PROVIDED IN THIS PLAN SET. SEE SHEET A.1</li> </ol>   |  |             |               |                         |  |  |  |  |  |  |  |  |  |   |  |  |             |  |                         |   |  |   |  |  | | <p><b>PROJECT OWNER RESPONSIBILITIES / INFORMATION</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">           OCCUPANCY TYPE: <input checked="" type="checkbox"/> R3<br/>           TYPE OF CONSTRUCTION: <input checked="" type="checkbox"/> VB<br/>           ALLOWABLE AREA: <input checked="" type="checkbox"/> UNLIMITED<br/>           FIRE SPRINKLERS: <input checked="" type="checkbox"/> SEE DEFERRED APPROVAL         </td><td style="width: 50%;">           BY ACCEPTING THE PREAPPROVED PLANS ("PLANS"), OWNER AND HIS/HER/ITS TENANTS, OCCUPANTS, AND INVITÉS SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS STANISLAUS COUNTY, THE LOCAL AGENCY ISSUING THE PERMIT, THE DESIGN PROFESSIONALS WHO PREPARED THE PLANS, AND THEIR RESPECTIVE OFFICIALS, OFFICERS, DIRECTORS, EMPLOYEES AND AGENTS, FROM ANY AND ALL CLAIMS, COSTS, LOSS, DAMAGE OR INJURY ARISING OUT OF OR RELATING TO THE ACCEPTANCE OR USE OF THE PLANS.         </td></tr> <tr> <td colspan="2">           744 SF ADU<br/>           FIRST LEVEL AREA: 744.00 SF<br/>           TOTAL CONDITIONED AREA: 744.00 SF<br/>           COVERED PORCH AREA: 106.00 SF<br/>           COVERED PATIO AREA: 0.00 SF<br/>           TOTAL BUILDING FOOTPRINT AREA: 850.00 SF         </td></tr> <tr> <td
colspan="2">           BUILDING HEIGHT: ±15'-6"<br/>           FIRE SPRINKLERS REQUIRED: <input type="checkbox"/> YES <input type="checkbox"/> NO         </td></tr> <tr> <td colspan="2">           FIRE SPRINKLERS IN EXISTING RESIDENCE: <input type="checkbox"/> YES <input type="checkbox"/> NO         </td></tr> <tr> <td colspan="2">           VERY HIGH FIRE HAZARD SEVERITY ZONE: <input type="checkbox"/> YES <input type="checkbox"/> NO         </td></tr> </table>   |  |             |               |                         |  |  |  |  |  |  |  |  |  | OCCUPANCY TYPE: <input checked="" type="checkbox"/> R3<br>TYPE OF CONSTRUCTION: <input checked="" type="checkbox"/> VB<br>ALLOWABLE AREA: <input checked="" type="checkbox"/> UNLIMITED<br>FIRE SPRINKLERS: <input checked="" type="checkbox"/> SEE DEFERRED APPROVAL | BY ACCEPTING THE PREAPPROVED PLANS ("PLANS"), OWNER AND HIS/HER/ITS TENANTS, OCCUPANTS, AND INVITÉS SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS STANISLAUS COUNTY, THE LOCAL AGENCY ISSUING THE PERMIT, THE DESIGN PROFESSIONALS WHO PREPARED THE PLANS, AND THEIR RESPECTIVE OFFICIALS, OFFICERS, DIRECTORS, EMPLOYEES AND AGENTS, FROM ANY AND ALL CLAIMS, COSTS, LOSS, DAMAGE OR INJURY ARISING OUT OF OR RELATING TO THE ACCEPTANCE OR USE OF THE PLANS. | 744 SF ADU<br>FIRST LEVEL AREA: 744.00 SF<br>TOTAL CONDITIONED AREA: 744.00 SF<br>COVERED PORCH AREA: 106.00 SF<br>COVERED PATIO AREA: 0.00 SF<br>TOTAL BUILDING FOOTPRINT AREA: 850.00 SF |             | BUILDING HEIGHT: ±15'-6"<br>FIRE SPRINKLERS REQUIRED: <input type="checkbox"/> YES <input type="checkbox"/> NO |                         | FIRE SPRINKLERS IN EXISTING RESIDENCE: <input type="checkbox"/> YES <input type="checkbox"/> NO |  | VERY HIGH FIRE HAZARD SEVERITY ZONE: <input type="checkbox"/> YES <input type="checkbox"/> NO |  |  | | OCCUPANCY TYPE: <input checked="" type="checkbox"/> R3<br>TYPE OF CONSTRUCTION: <input checked="" type="checkbox"/> VB<br>ALLOWABLE AREA: <input checked="" type="checkbox"/> UNLIMITED<br>FIRE SPRINKLERS: <input checked="" type="checkbox"/> SEE DEFERRED APPROVAL  | BY ACCEPTING THE PREAPPROVED PLANS ("PLANS"), OWNER AND HIS/HER/ITS TENANTS, OCCUPANTS, AND INVITÉS SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS STANISLAUS COUNTY, THE LOCAL AGENCY ISSUING THE PERMIT, THE DESIGN PROFESSIONALS WHO PREPARED THE PLANS, AND THEIR RESPECTIVE OFFICIALS, OFFICERS, DIRECTORS, EMPLOYEES AND AGENTS, FROM ANY AND ALL CLAIMS, COSTS, LOSS, DAMAGE OR INJURY ARISING OUT OF OR RELATING TO THE ACCEPTANCE OR USE OF THE PLANS. |             |               |                         |  |  |  |  |  |  |  |  |  |   |  |  |             |  |                         |   |  |   |  |  | | 744 SF ADU<br>FIRST LEVEL AREA: 744.00 SF<br>TOTAL CONDITIONED AREA: 744.00 SF<br>COVERED PORCH AREA: 106.00 SF<br>COVERED PATIO AREA: 0.00 SF<br>TOTAL BUILDING FOOTPRINT AREA: 850.00 SF  
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  |  |             |               |                         |  |  |  |  |  |  |  |  |  |   |  |  |             |  |                         |   |  |   |  |  | | VERY HIGH FIRE HAZARD SEVERITY ZONE: <input type="checkbox"/> YES <input type="checkbox"/> NO  |  |             |               |                         |  |  |  |  |  |  |  |  |  |   |  |  |             |  |                         |   |  |   |  |  | | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>ABBREVIATIONS</th><th>APPLICABLE CODES</th><th>SHEET INDEX</th><th>CODE ANALYSIS</th><th>HOLD HARMLESS STATEMENT</th></tr> </table>   
  |  |             |               |                         |  |  |  |  |  |  |  |  |  |   | ABBREVIATIONS  | APPLICABLE CODES   | SHEET INDEX | CODE ANALYSIS  | HOLD HARMLESS STATEMENT |   |  |   |  |  | | ABBREVIATIONS  | APPLICABLE CODES   | SHEET INDEX | CODE ANALYSIS | HOLD HARMLESS STATEMENT |  |  |  |  |  |  |  |  |  |   |  |  |             |  |                         |   |  |   |  |  | | | | | | | | | | | | | | | |



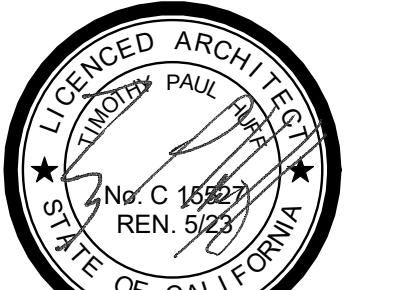
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ACCESSORY DWELLING UNITS -  
STANISLAUS COUNTY CALIFORNIA

OVER SHEET

umber	2020
	JUNE 2022
	RRM
by	JM/JG
<b>CS</b>	

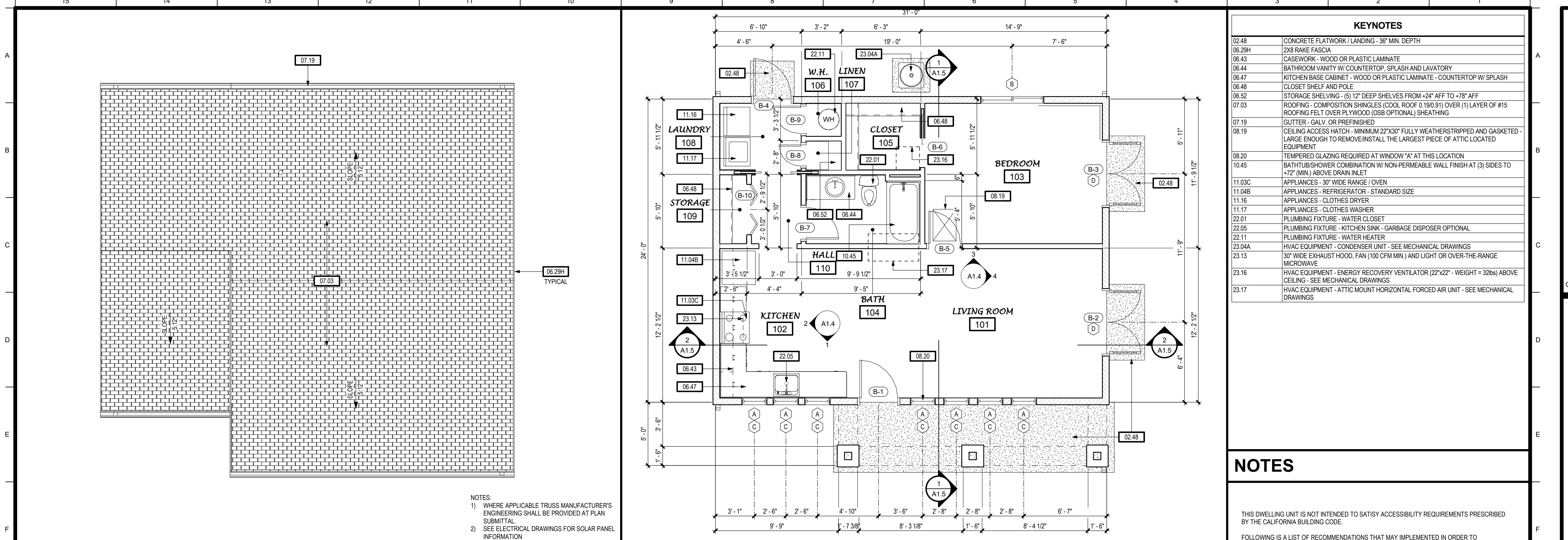


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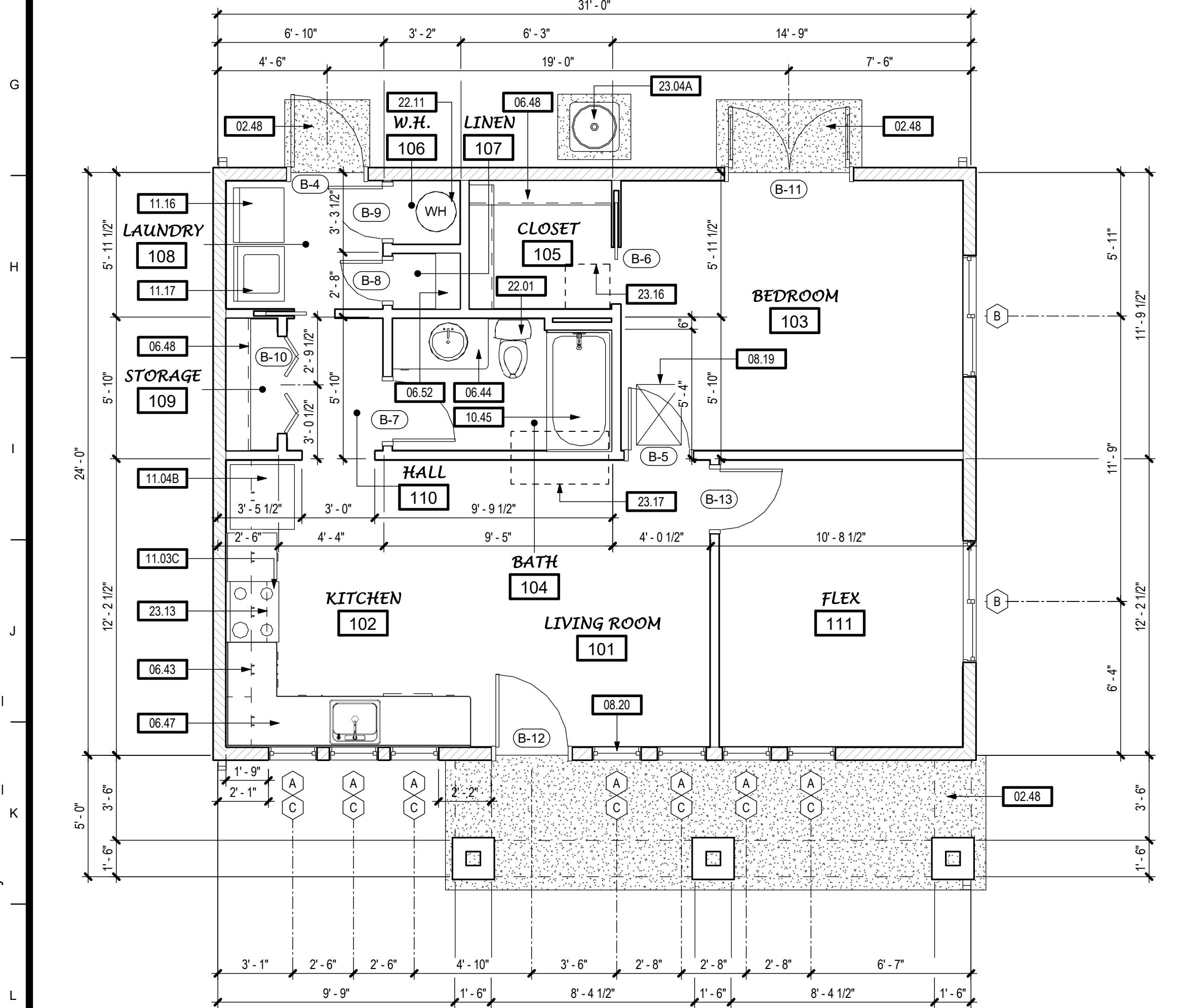
## 744 SF ONE BEDROOM ACCESSORY DWELLING UNITS - STANISLAUS COUNTY CALIFORNIA

FLOOR PLANS / ROOF PLAN - 744 SF ONE BEDROOM



### 4 ROOF PLAN - 744 SF

SCALE: 1/4" = 1'-0"



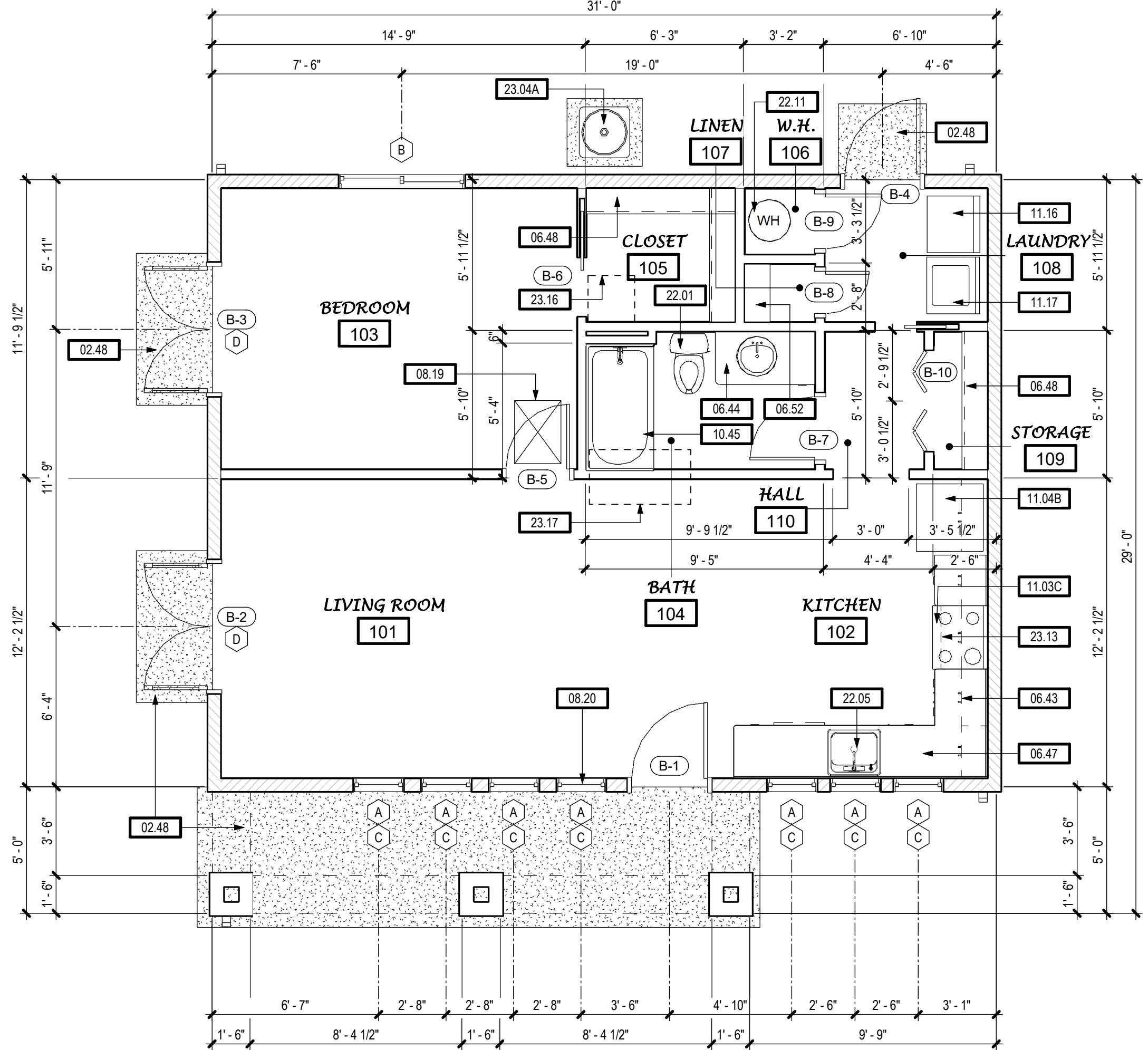
### 3 FLOOR PLAN - 744 SF - OPTIONS

SCALE: 1/4" = 1'-0"

C:\local\2020 Stan County ADU - 750\_CENTRAL\_left.mif

### 1 FLOOR PLAN - 744 SF

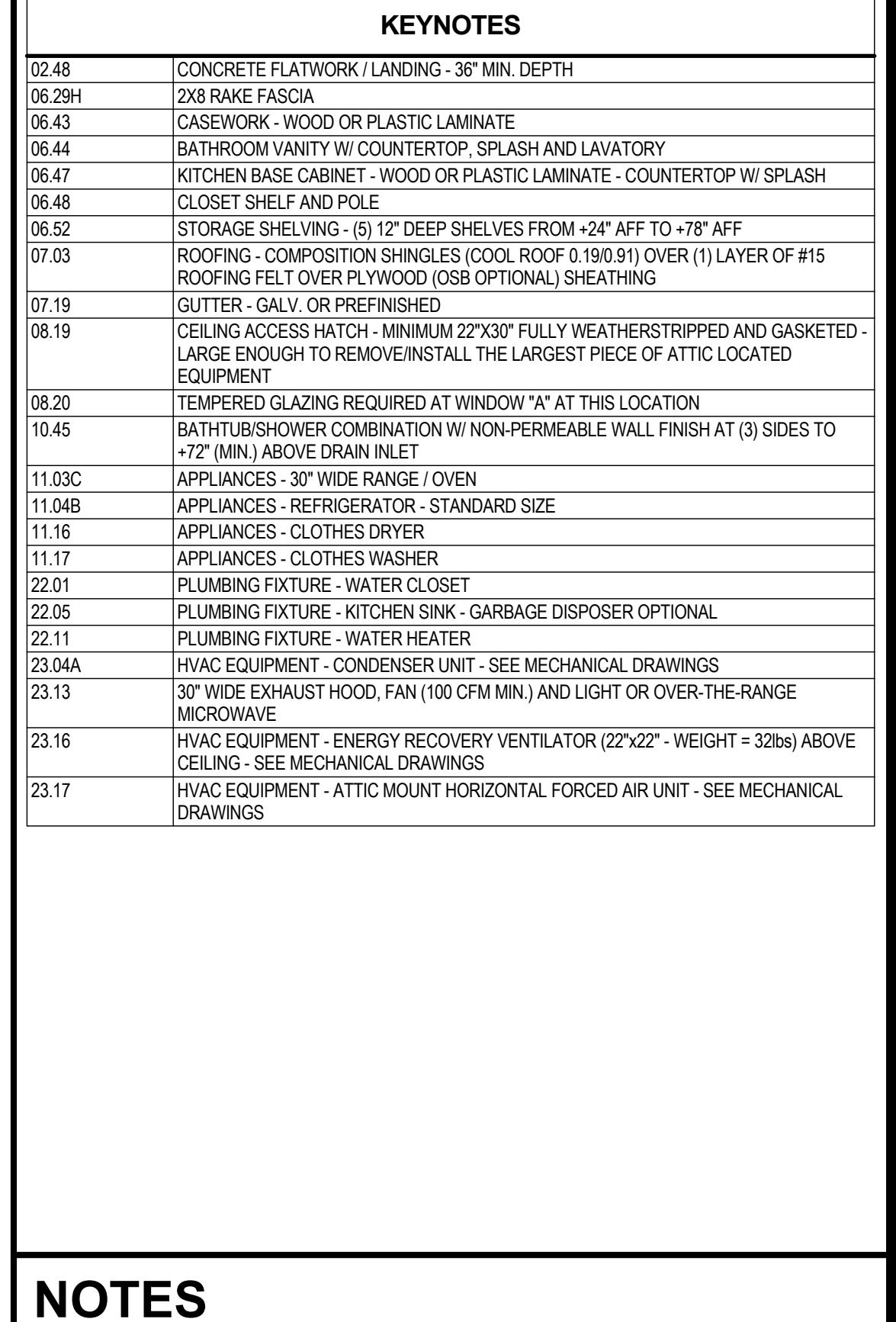
SCALE: 1/4" = 1'-0"



### 2 FLOOR PLAN - 744 SF - MIRRORED

SCALE: 1/4" = 1'-0"

KEYNOTES	
02.48	CONCRETE FLATWORK / LANDING - 36" MIN DEPTH
06.29H	2X8 RAKE FASCIA
06.43	CASEWORK - WOOD OR PLASTIC LAMINATE
06.44	BATHROOM VANITY W/ COUNTERTOP, SPLASH AND LAVATORY
06.47	KITCHEN BASE CABINET - WOOD OR PLASTIC LAMINATE - COUNTERTOP W/ SPLASH
06.48	CLOSET SHELF AND POLE
06.52	STORAGE SHELVING - (5) 12" DEEP SHELVES FROM +24" AFF TO +78" AFF
07.03	ROOFING - COMPOSITION SHINGLES (COOL ROOF 0.190.91) OVER (1) LAYER OF #15 ROOFING FELT OVER PLYWOOD (OSB OPTIONAL) SHEATHING
07.19	GUTTER - GALV. OR PREFINISHED
08.19	CEILING ACCESS HATCH - MINIMUM 22"X30" FULLY WEATHERSTRIPPED AND GASKETED - LARGE ENOUGH TO REMOVE/INSTALL THE LARGEST PIECE OF ATTIC LOCATED EQUIPMENT
08.20	TEMPERED GLAZING REQUIRED AT WINDOW "A" AT THIS LOCATION
10.45	BATHTUB/SHOWER COMBINATION W/ NON-PERMEABLE WALL FINISH AT (3) SIDES TO +72" (MIN) ABOVE DRAIN INLET
11.03C	APPLIANCES - 30" WIDE RANGE / OVEN
11.04B	APPLIANCES - REFRIGERATOR - STANDARD SIZE
11.16	APPLIANCES - CLOTHES DRYER
11.17	APPLIANCES - CLOTHES WASHER
22.01	PLUMBING FIXTURE - WATER CLOSET
22.05	PLUMBING FIXTURE - KITCHEN SINK - GARBAGE DISPOSER OPTIONAL
22.11	PLUMBING FIXTURE - WATER HEATER
23.04A	HVAC EQUIPMENT - CONDENSER UNIT - SEE MECHANICAL DRAWINGS
23.13	30" WIDE EXHAUST HOOD, FAN (100 CFM MIN) AND LIGHT OR OVER-THE-RANGE MICROWAVE
23.16	HVAC EQUIPMENT - ENERGY RECOVERY VENTILATOR (22"X22" - WEIGHT = 32lbs) ABOVE CEILING - SEE MECHANICAL DRAWINGS
23.17	HVAC EQUIPMENT - ATTIC MOUNT HORIZONTAL FORCED AIR UNIT - SEE MECHANICAL DRAWINGS

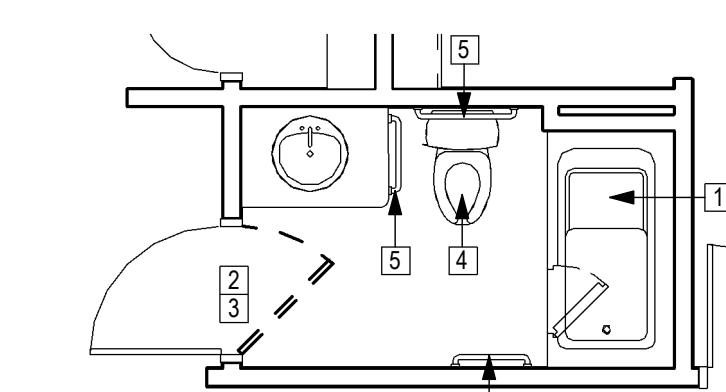


### NOTES

THIS DWELLING UNIT IS NOT INTENDED TO SATISFY ACCESSIBILITY REQUIREMENTS PRESCRIBED BY THE CALIFORNIA BUILDING CODE.

FOLLOWING IS A LIST OF RECOMMENDATIONS THAT MAY BE IMPLEMENTED IN ORDER TO INCREASE THE FUNCTIONALITY OF THE UNIT FOR A PERSON WITH MOBILITY LIMITATIONS.

1. WALK-IN TUB/SHOWER COMBINATION (SEE FLOOR PLAN BELOW)
  - AVAILABLE IN SAME FOOTPRINT (30"X30") AS STANDARD BATHTUB/SHOWER
  - APPROXIMATELY 3" HIGH STEP TO ENTER, MULTIPLE CONFIGURATIONS
  - AVAILABLE AT LARGE HOME IMPROVEMENT RETAILERS
2. LEVER LOCKSET HARDWARE AT ALL DOORS
3. REVERSE STANDARD SWING DIRECTION AT BATHROOM DOORS TO PREVENT ENTRAPMENT IN THE EVENT OF A FALL OR PROVIDE A POCKET DOOR IF SPACE PERMITS.
4. "COMFORT HEIGHT" WATER CLOSET (+2" HIGHER THAN STANDARD WATER CLOSET).
5. CONVENIENCE GRAB BARS (SEE FLOOR PLAN BELOW), PROVIDE SOLID BLOCKING IN WALL TO SUPPORT.
6. REDUCE WIDTH OF VANITY FROM 43" TO 36".



### 5 ADAPTABILITY RECOMM.

SCALE: 1/4" = 1'-0"

#### EXTERIOR WALLS

2x4 WOOD STUDS W/ R-15 BATT INSULATION: EXTERIOR FINISH OVER R-15 INSULATION OVER PLYWOOD SHEATHING AT EXTERIOR / GYPSUM BOARD AT INTERIOR  
ALTERNATE:  
2x6 WOOD STUDS W/ R-21 BATT INSULATION: EXTERIOR FINISH OVER PLYWOOD SHEATHING AT EXTERIOR / GYPSUM BOARD AT INTERIOR

#### INTERIOR WALLS

2x6 WOOD STUDS W/ SOUND BATTIS: GYPSUM BOARD AT EACH SIDE  
2x4 WOOD STUDS W/ SOUND BATTIS: GYPSUM BOARD AT EACH SIDE, TYP. UNLESS OTHERWISE NOTED - SEE INTERIOR ELEVATIONS

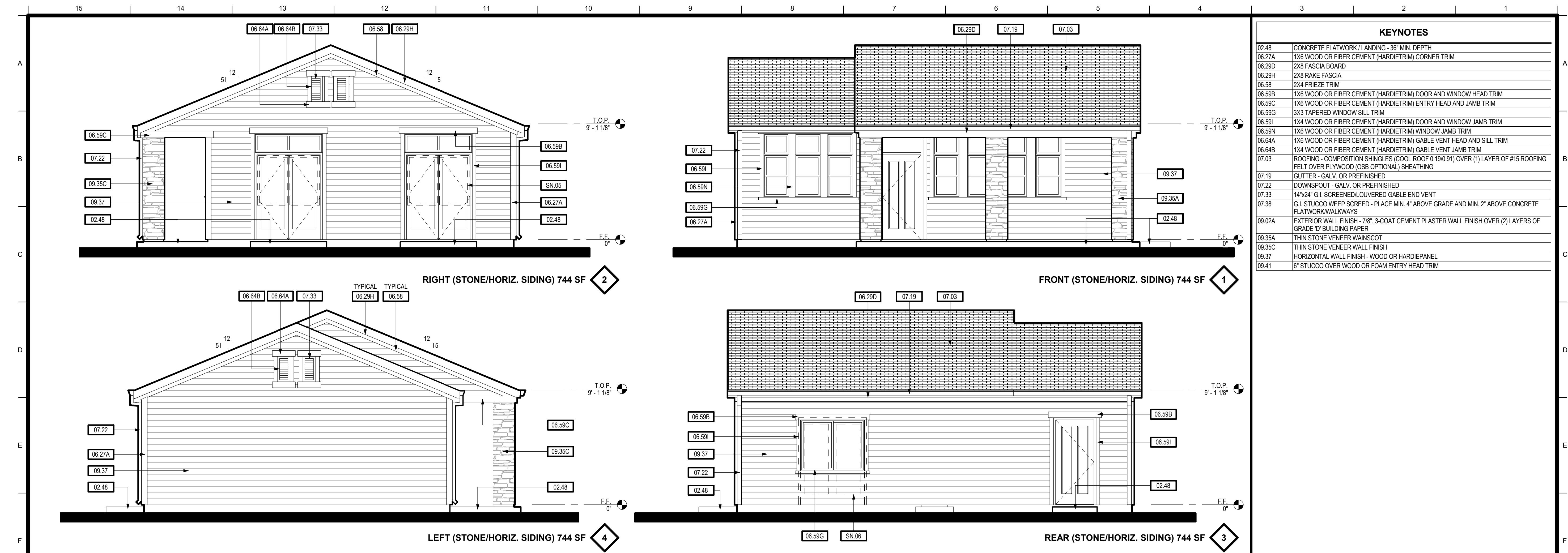
NOTES:

- 1) HER'S VERIFIED QUALITY INSPECTION IS REQUIRED. OWNER TO PROVIDE REPORT TO INSPECTOR AT INSULATION INSPECTION.
- 2) ALL INTERIOR AND EXTERIOR WOOD STUDS ARE TO BE SPACED AT 16" O.C. MAX. - SEE STRUCTURAL DRAWINGS.
- 3) SEE STRUCTURAL DRAWINGS FOR ALL EXTERIOR AND INTERIOR SHEAR WALL LOCATIONS.
- 4) SEE STRUCTURAL DRAWINGS FOR EXTERIOR WALLS W/ PLYWD. SHEATHING AT INTERIOR FACE.

### WALL LEGEND

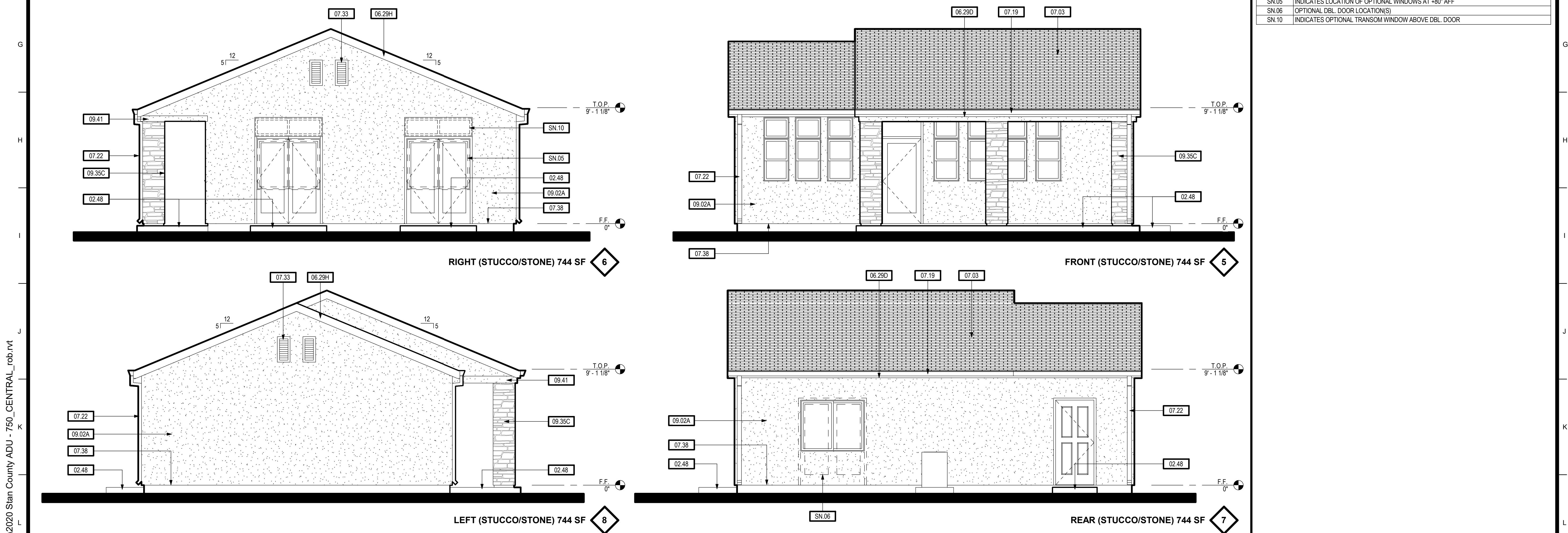
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Project Number	2020	
Date	JUNE 2022	
Drawn by	RS/RRM	
Checked by	JM/JG	
Plot Date & Time	8/11/2022 10:22:47 AM	

A1.1



# EXTERIOR ELEVATIONS - 744 SF (STONE/HORIZ. SIDING)

SCALE: 1/4" = 1'-0"



## **EXTERIOR ELEVATIONS - 744 SF (STUCCO/STONE)**

SCALE: 1/4" = 1'-0"

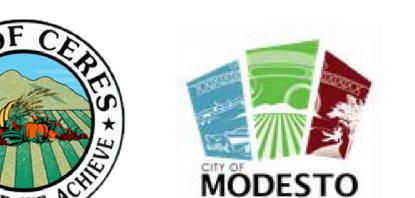
## NOTES

## A1.2

Plot Date & Time 7/13/2022 3:21:27 PM



2022 - Timothy P. Huff & Associates



# 744 SF ONE BEDROOM ACCESSORY DWELLING UNITS - STANISLAUS COUNTY CALIFORNIA

## **EXTERIOR ELEVATIONS - 744 SF ONE BEDROOM**

