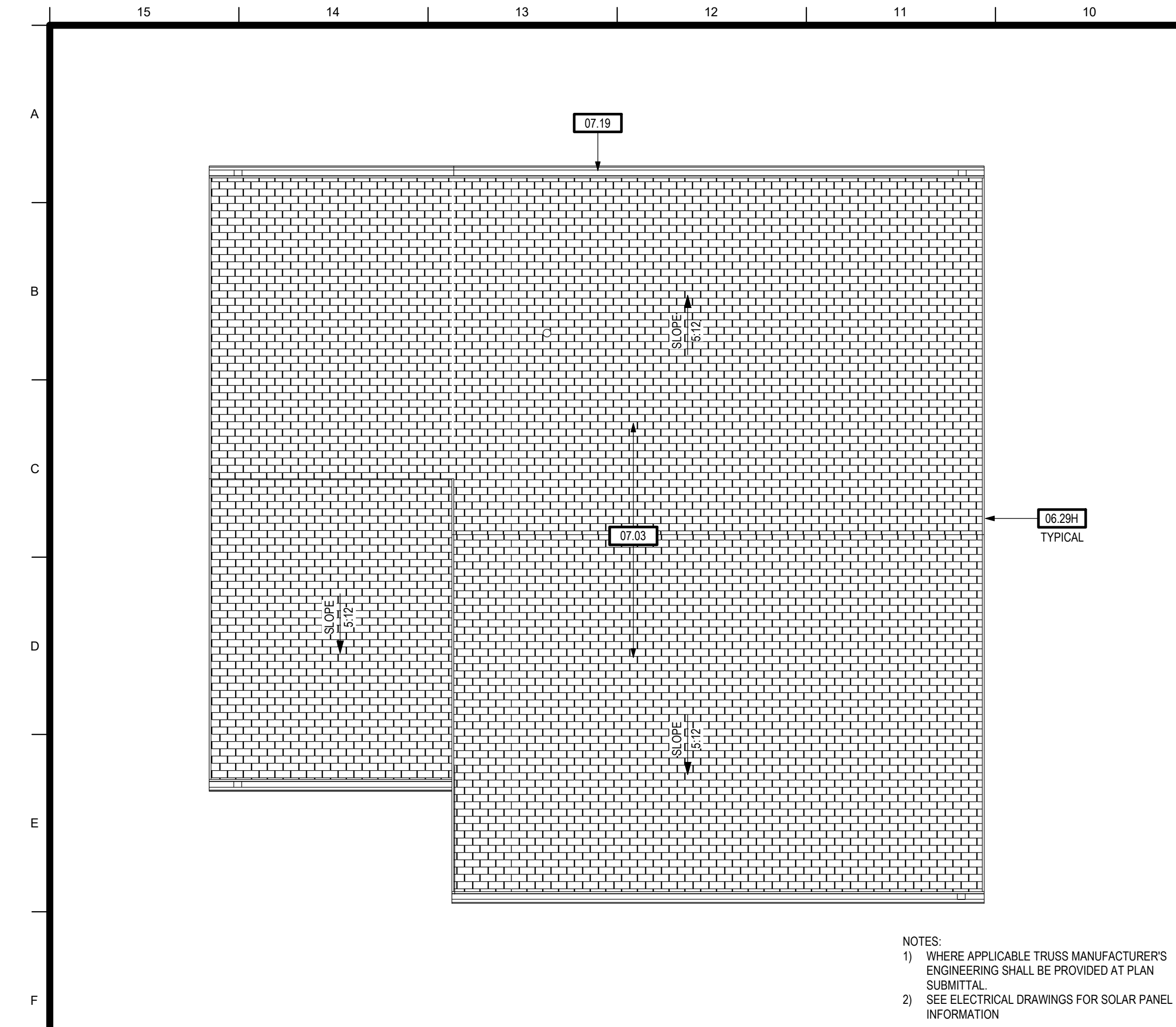


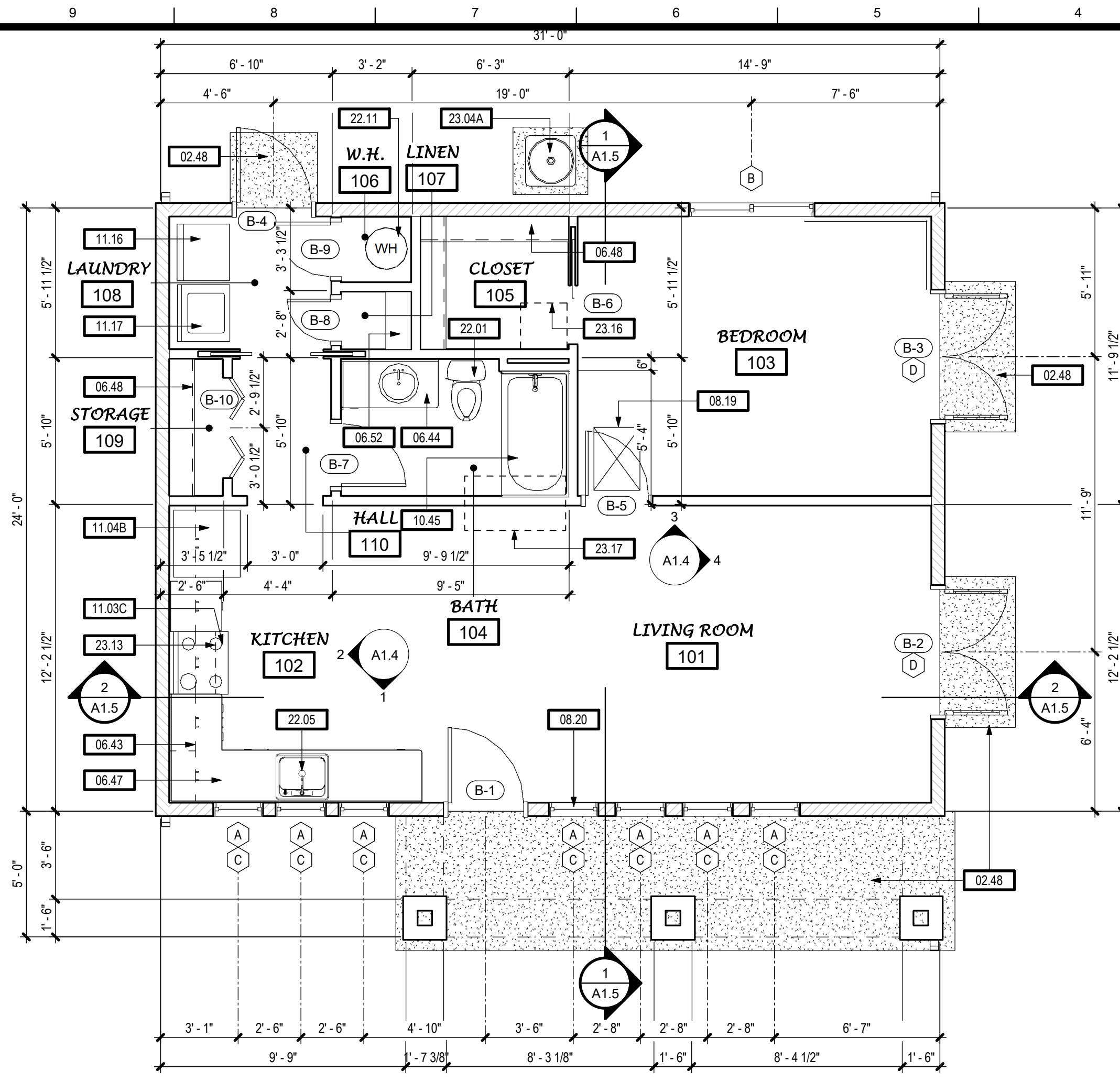
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COVER SHEET



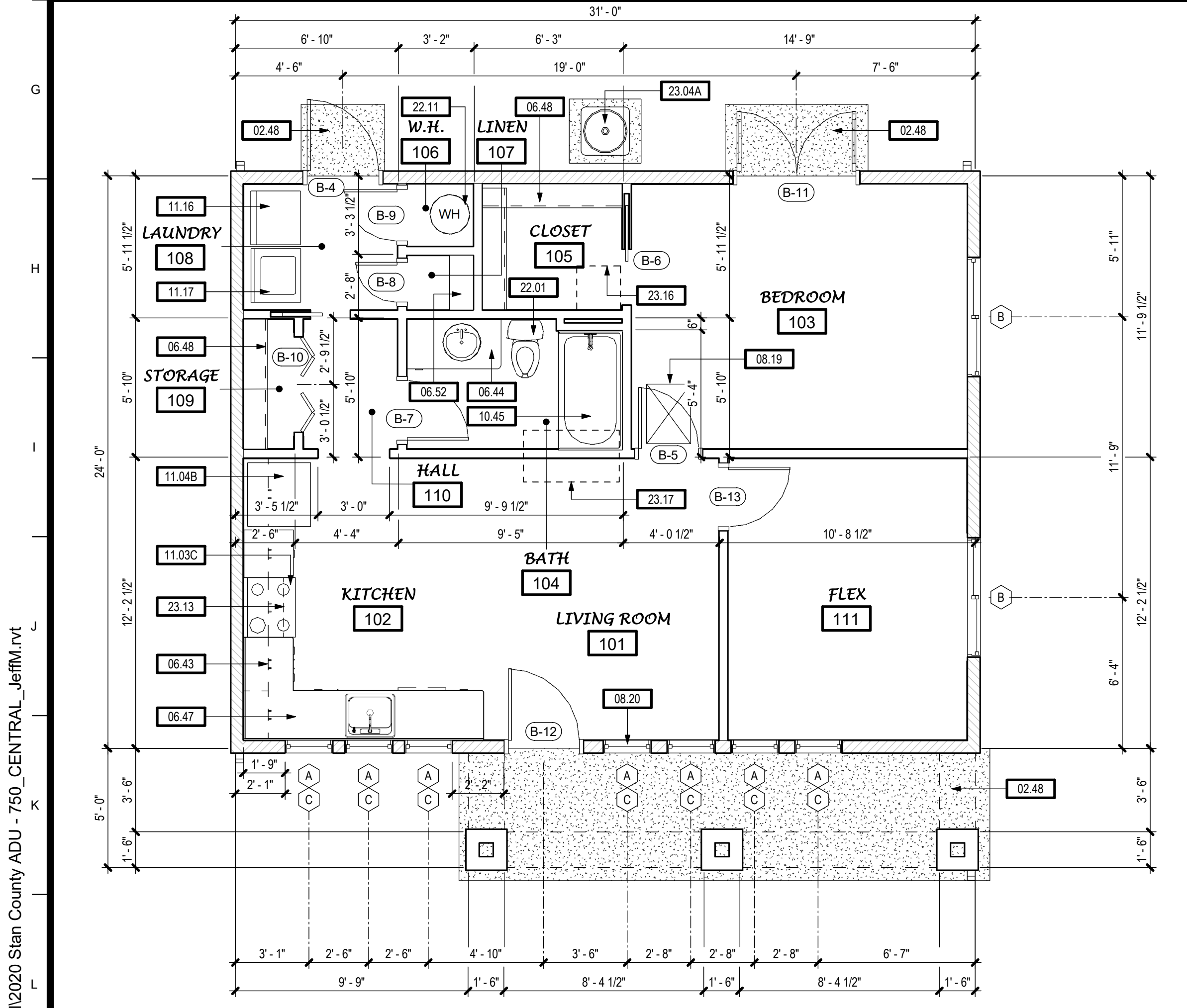
4 ROOF PLAN - 744 SF

SCALE: 1/4" = 1'-0"



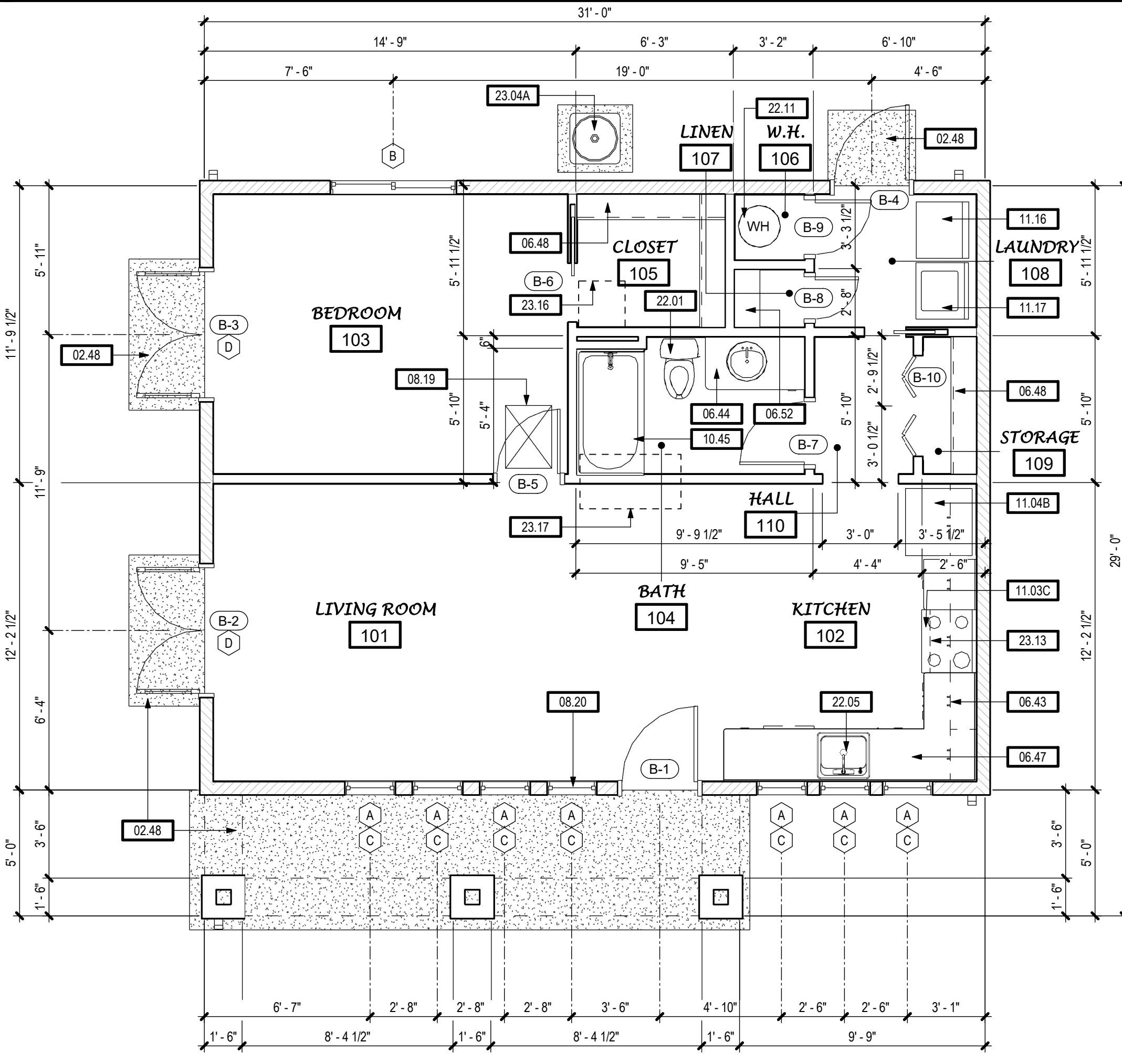
1 FLOOR PLAN - 744 SF

SCALE: 1/4" = 1'-0"



3 FLOOR PLAN - 744 SF - OPTIONS

SCALE: 1/4" = 1'-0"



2 FLOOR PLAN - 744 SF - MIRRORED

SCALE: 1/4" = 1'-0"

KEYNOTES

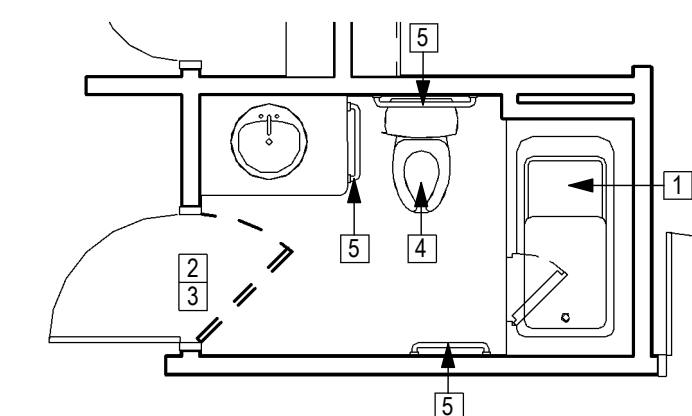
0248	CONCRETE FLATWORK / LANDING - 36" MIN. DEPTH
06.29H	2X8 RAKE FASCIA
06.43	CASEWORK - WOOD OR PLASTIC LAMINATE
06.44	BATHROOM VANITY W/ COUNTERTOP, SPLASH AND LAVATORY
06.47	KITCHEN BASE CABINET - WOOD OR PLASTIC LAMINATE - COUNTERTOP W/ SPLASH
06.48	CLOSET SHELF AND POLE
06.52	STORAGE SHELVING - (5) 12" DEEP SHELVES FROM +24" AFF TO +78" AFF
07.03	ROOFING - COMPOSITION SHINGLES (COOL ROOF 0.190 91) OVER (1) LAYER OF #15 ROOFING FELT OVER PLYWOOD (OSB OPTIONAL) SHEATHING
07.19	GUTTER - GALV. OR PREFINISHED
08.19	CEILING ACCESS HATCH - MINIMUM 22"x30" FULLY WEATHERSTRIPPED AND GASKETED - LARGE ENOUGH TO REMOVE/INSTALL THE LARGEST PIECE OF ATTIC LOCATED EQUIPMENT
08.20	TEMPERED GLAZING REQUIRED AT WINDOW "A" AT THIS LOCATION
10.45	BATHTUB/SHOWER COMBINATION W/ NON-PERMEABLE WALL FINISH AT (3) SIDES TO +72" (MIN.) ABOVE DRAIN INLET
11.03C	APPLIANCES - 30" WIDE RANGE / OVEN
11.04B	APPLIANCES - REFRIGERATOR - STANDARD SIZE
11.16	APPLIANCES - CLOTHES DRYER
11.17	APPLIANCES - CLOTHES WASHER
22.01	PLUMBING FIXTURE - WATER CLOSET
22.05	PLUMBING FIXTURE - KITCHEN SINK - GARBAGE DISPOSER OPTIONAL
22.11	PLUMBING FIXTURE - WATER HEATER
23.04A	HVAC EQUIPMENT - CONDENSER UNIT - SEE MECHANICAL DRAWINGS
23.13	30" WIDE EXHAUST HOOD, FAN (100 CFM MIN.) AND LIGHT OR OVER-THE-RANGE MICROWAVE
23.16	HVAC EQUIPMENT - ENERGY RECOVERY VENTILATOR (22"x22" - WEIGHT = 32lbs) ABOVE CEILING - SEE MECHANICAL DRAWINGS
23.17	HVAC EQUIPMENT - ATTIC MOUNT HORIZONTAL FORCED AIR UNIT - SEE MECHANICAL DRAWINGS

NOTES

THIS DWELLING UNIT IS NOT INTENDED TO SATISFY ACCESSIBILITY REQUIREMENTS PRESCRIBED BY THE CALIFORNIA BUILDING CODE.

FOLLOWING IS A LIST OF RECOMMENDATIONS THAT MAY IMPLEMENTED IN ORDER TO INCREASE THE FUNCTIONALITY OF THE UNIT FOR A PERSON WITH MOBILITY LIMITATIONS.

- WALK-IN TUB/SHOWER COMBINATION (SEE FLOOR PLAN BELOW).
 - AVAILABLE IN SAME FOOTPRINT (+30"x60") AS STANDARD BATHTUB/SHOWER
 - APPROXIMATELY 3" HIGH STEP TO ENTER, MULTIPLE CONFIGURATIONS
 - AVAILABLE AT LARGE HOME IMPROVEMENT RETAILERS
- LEVER LOCKSET HARDWARE AT ALL DOORS
- REVERSE STANDARD SWING DIRECTION AT BATHROOM DOORS TO PREVENT ENTRAPMENT IN THE EVENT OF A FALL OR PROVIDE A POCKET DOOR IF SPACE PERMITS.
- "COMFORT HEIGHT" WATER CLOSET (+2" HIGHER THAN STANDARD WATER CLOSET)
- CONVENIENCE GRAB BARS (SEE FLOOR PLAN BELOW). PROVIDE SOLID BLOCKING IN WALL TO SUPPORT.
- REDUCE WIDTH OF VANITY FROM 43" TO 36".



5 ADAPTABILITY RECOMMS.

SCALE: 1/4" = 1'-0"

EXTERIOR WALLS

- 2x4 WOOD STUDS W/ R-15 BATT INSULATION: EXTERIOR FINISH OVER R-4 RIGID INSULATION OVER PLYWOOD SHEATHING AT EXTERIOR / GYPSUM BOARD AT INTERIOR
- ALTERNATE: 2x6 WOOD STUDS W/ R-21 BATT INSULATION: EXTERIOR FINISH OVER PLYWOOD SHEATHING AT EXTERIOR / GYPSUM BOARD AT INTERIOR

INTERIOR WALLS

- 2x6 WOOD STUDS W/ SOUND BATTS: GYPSUM BOARD AT EACH SIDE
- 2x4 WOOD STUDS W/ SOUND BATTS: GYPSUM BOARD AT EACH SIDE, TYP. UNLESS OTHERWISE NOTED - SEE INTERIOR ELEVATIONS

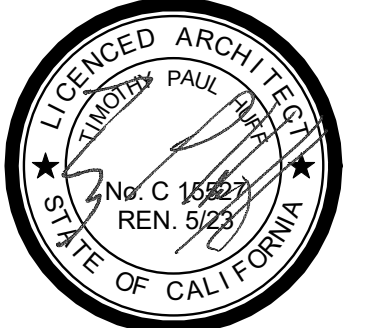
NOTES:

- HERS VERIFIED QUALITY INSPECTION IS REQUIRED. OWNER TO PROVIDE REPORT TO INSPECTOR AT INSULATION INSPECTION.
- ALL INTERIOR AND EXTERIOR WOOD STUDS ARE TO BE SPACED AT 16" O.C. MAX. - SEE STRUCTURAL DRAWINGS.
- SEE STRUCTURAL DRAWINGS FOR ALL EXTERIOR AND INTERIOR SHEAR WALL LOCATIONS.
- SEE STRUCTURAL DRAWINGS FOR EXTERIOR WALLS W/ PLYWD. SHEATHING AT INTERIOR FACE.

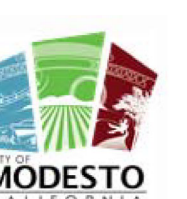
WALL LEGEND



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 ACCESSORY DWELLING UNITS -
 STANISLAUS COUNTY CALIFORNIA**

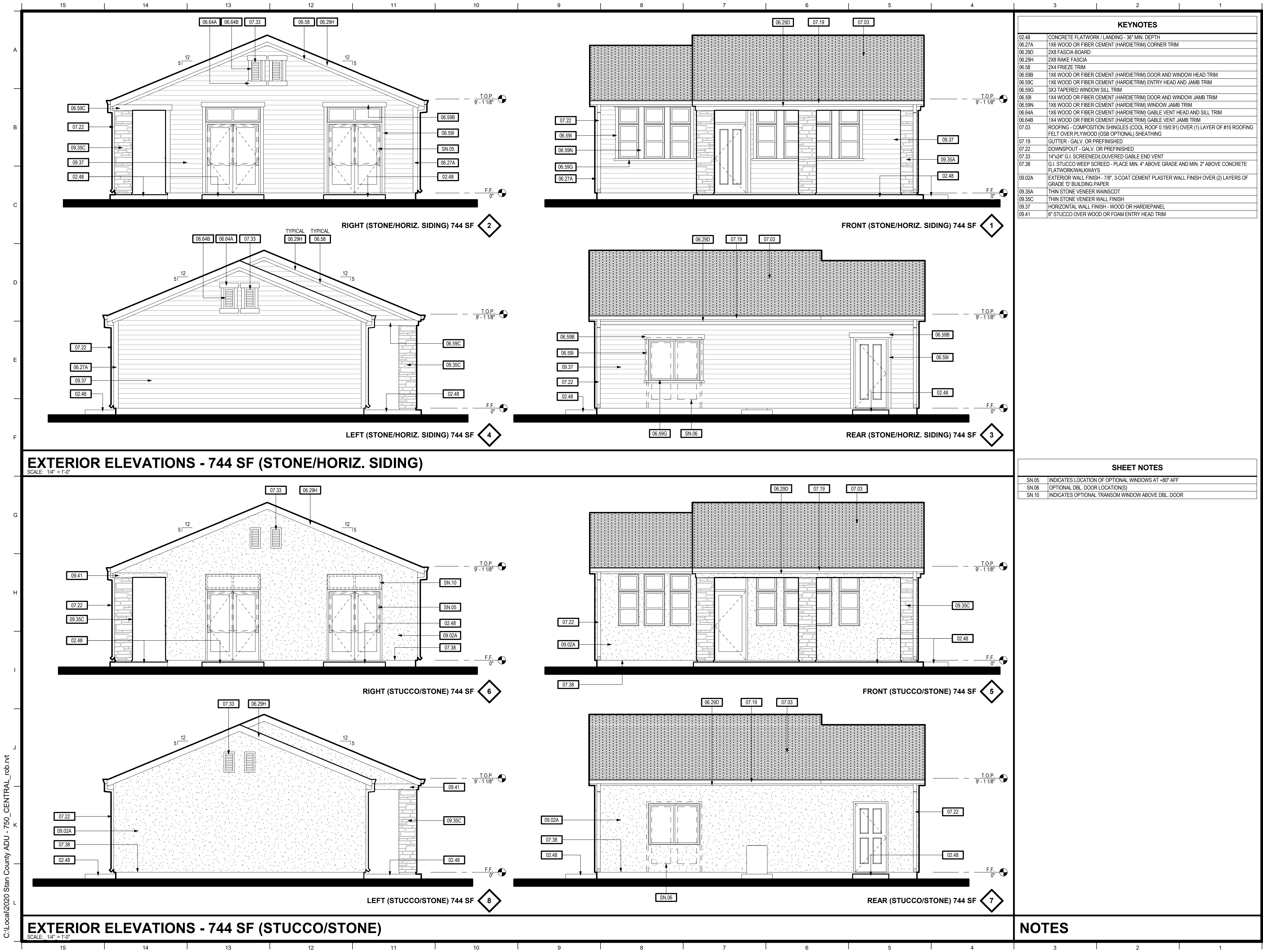
FLOOR PLANS / ROOF PLAN - 744 SF ONE BEDROOM

No.	Description	Date

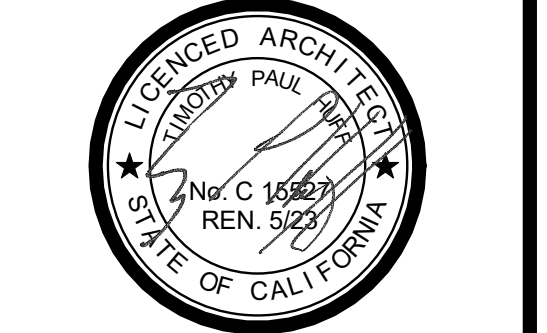
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Date	JUNE 2022
Drawn by	RS/RRM
Checked by	JM/JG

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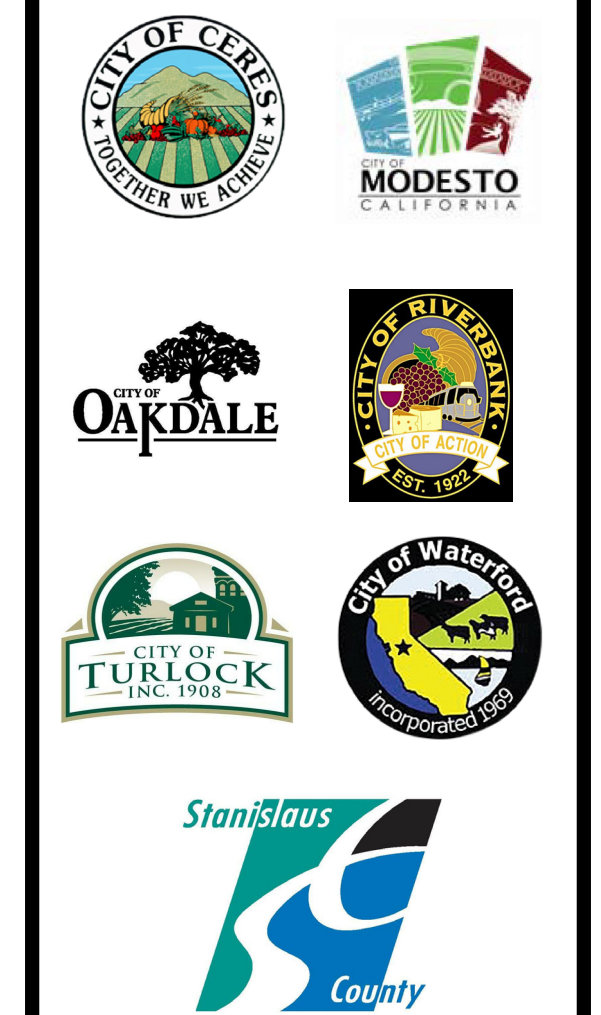
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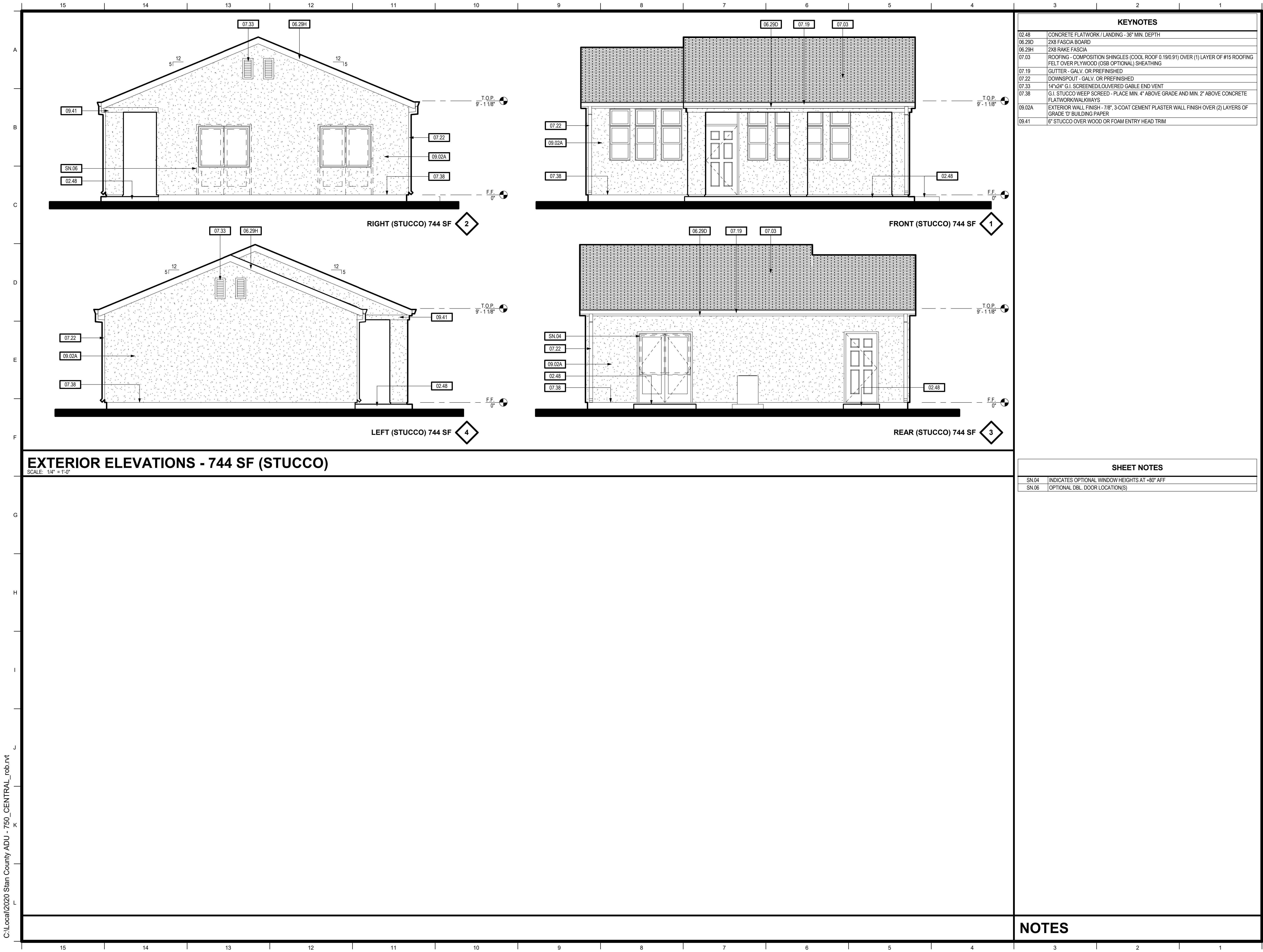
EXTERIOR ELEVATIONS - 744 SF ONE BEDROOM

No.	Description	Date

Project Number	2020
Date	JUNE 2022
Drawn by	RRM/RS
Checked by	JM/JG

A1.2

Plot Date & Time 7/13/2022 3:21:27 PM



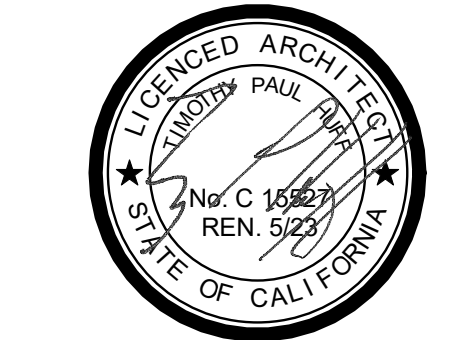
KEYNOTES	
02.48	CONCRETE FLATWORK / LANDING - 36" MIN. DEPTH
06.29D	2X8 FASCIA BOARD
06.29H	2X8 RAKE FASCIA
07.03	ROOFING - COMPOSITION SHINGLES (COOL ROOF 0.19/0.91) OVER (1) LAYER OF #15 ROOFING FELT OVER PLYWOOD (OSB OPTIONAL) SHEATHING
07.19	GUTTER - GALV. OR PREFINISHED
07.22	DOWNSPOUT - GALV. OR PREFINISHED
07.33	14"x24" G.I. SCREENED LOUVERED GABLE END VENT
07.38	G.I. STUCCO WEEP SCREED - PLACE MIN. 4" ABOVE GRADE AND MIN. 2" ABOVE CONCRETE FLATWORK/WALKWAYS
09.02A	EXTERIOR WALL FINISH - 7/8", 3-COAT CEMENT PLASTER WALL FINISH OVER (2) LAYERS OF GRADE 'D' BUILDING PAPER
09.41	6" STUCCO OVER WOOD OR FOAM ENTRY HEAD TRIM

SHEET NOTES	
SN.04	INDICATES OPTIONAL WINDOW HEIGHTS AT +80" AFF
SN.06	OPTIONAL DBL. DOOR LOCATION(S)

NOTES



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EXTERIOR ELEVATIONS - 744 SF ONE BEDROOM

No.	Description	Date

Project Number	2020
Date	JUNE 2022
Drawn by	RRM
Checked by	JM/JG

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Plot Date & Time 7/13/2022 3:23:04 PM